

## GENERAL NOTES:

- NEW EXTERIOR WALL CONSTRUCTION TO CONSIST OF SIDING MATERIAL OVER 1/2" BLDG. PAPER OVER 5/8" CDX PLYWD. SHEATHING ON 2" MIN. WALL STUDS @ 16" O.C. W/ 1/2" (20) SPRAYED OPEN CELL INSUL. 5/8" GYP. BD. INTERIOR. (3 COATS 1 & 5).
- INTERIOR WALL CONSTRUCTION TO CONSIST OF 2X6 & 2x4 WALL STUDS @ 16" O.C. W/ (1) ONE LAYER 5/8" GYP. BD. EACH SIDE. (3 COATS 1 & 5).
- FOR DIMENSIONAL CLARITY, NOMINAL DIMENSIONS ARE USED FOR W.D. FRAMING MEMBERS. "4" REFERS TO 2x4 WALL STUDS & "6" REFERS TO 2x6 WALL STUDS. SEE PLANS. DIMENSIONS ARE FROM FRAMING MEMBER TO FRAMING MEMBER & NOT FINISH TO FINISH.
- ALL STRUCTURAL FRAMING LUMBER IS TO BE DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE NATIONAL FOREST PRODUCTS DIVISION. ALL FRAMING LUMBER IS TO BE DOUGLAS FIR HAVING THE FOLLOWING VALUES: #1 1b=850 psi, E=1.5, #2 1b=850 psi E=1.5.
- ALL FLOOR JOISTS SHALL BE LATERALLY SUPPORTED BY BRIDGING OR BLOOMING @ INTERVALS NOT EXCEEDING EIGHT FEET. SPACING IS TO BE CENTERED AT EQUAL DISTANCES.
- ALL CATHEDRAL CEILING RAFTERS SHALL BE ANCHORED TO FRAMED WALLS WITH "HURRICANE CLIPS". SEE PAGE SP-1 FOR ADDITIONAL DETAILS.
- ALL POSTS UNDER OTHER THAN HEADERS FOR WINDOWS AND DOORS TO BE SUPPORTED WITH FULL WIDTH BEARING ON POSTS BELOW.
- INSTALL BLOOMING BETWEEN JOISTS UNDER WALLS RUNNING PERPENDICULAR TO JOISTS. BLOOMING TO BE SAME SIZE AS JOISTS.
- ALL INTERIOR DRYWALL SHALL BE PRIMED AND PAINTED W/ 2 FINISH COATS.
- DOUBLE RAFTERS AT ALL SKY LIGHTS. PROVIDE DOUBLE FRAMING MEMBERS (SAME DIMENSIONS AS ADJACENT ROOF FRAMING) AS HEADERS FOR SKYLIGHTS WITH POOL CONNECTORS.
- DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO SAME AND AROUND ALL OPENINGS.
- ALL HEADERS OVER WINDOWS AND DOORS TO BE AS SHOWN ON PLANS WITH A MAX. OF (2) 2 X 12'S WITH EXTERIOR WALLS W/ MINIMUM OF 4" (11.1 MM) AND A MAXIMUM SPAN OF 8 FEET SHALL BE PERMITTED FOR SPACING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 301.2.1.2 OR SHALL BE DESIGNED TO RESIST THE COMPONENTS AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE OF NEW YORK STATE.
- ALL FLUSH HEADERS TO HAVE TACO FASTENERS AT CONNECTIONS OF HEADERS AND EACH FLOOR OR CEILING JOIST MEMBER.
- ALL METAL JOIST HANGERS AND OTHER METAL CONNECTORS REQUIRED SHALL BE "TEDO" CONNECTORS OR EQUAL AND SHALL BE CAPABLE OF HANDLING LOADS @ CONNECTION POINTS. INSTALLATIONS SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
- INSTALL 5/8" dia. ANCHORS BOLTS (NUT & WASHER) AT 36"-0" o.c. W/ MAX. 12" FROM CORNERS NO LESS THAN 2 PER SILL AT ALL SILL PLATE ON FOUNDATIONS WALLS. ALL SILL PLATES TO BE PRESSURE TREATED WITH COPPER TERNITE SHELL AND SILL SEALER BETWEEN FOUNDATION AND SILL.
- INSTALL 5" ALUMINUM GUTTERS AND LEADERS AS REQUIRED.
- STRUCTURAL RIDGE TO BE SUPPORTED WITH 4x4 POSTS (10.0L).
- ALL GYPSUM BOARD IN BATHROOMS AND KITCHEN SINK AND WET APPLIANCES IN KITCHEN TO BE WATER-RESISTANT TYPE.
- CONTRACTOR SHALL EXERCISE GOOD JUDGEMENT TO MINIMIZE DAMAGE TO EXISTING LANDSCAPED & PAVED AREAS. ANY DAMAGE INCURRED AS A RESULT OF NEW CONSTRUCTION SHALL BE RESTORED TO THE ORIGINAL CONDITION. GRADING AROUND NEW CONSTRUCTION SHALL SLOPE AWAY FROM HOUSE AND BLIND INTO EXISTING.
- ELECTRICAL WORK TO CONFORM TO THE NATIONAL ELECTRIC CODE AND ANY OTHER APPLICABLE LOCAL CODES. PROVIDE MINIMUM OF ONE SMOKE DETECTOR IN EACH BEDROOM AND ONE ON EACH FLOOR, INCLUDING CELLAR. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER. PROVIDE MIN ONE HARD WIRED CARBON MONOXIDE DETECTOR AT EACH FLOOR LEVEL.
- ALL FOOTINGS SHALL BEAR ON HILICEL PILES AS PER PLANS. SEE SPEC ON DRAWING A-2. AND SHALL HAVE MINIMUM DEPTH OF 3'-0" OR AS NOTED.
- CONCRETE TO BE REINFORCED AS PER PLANS, MINIMUM 3,000 P.S.I. 28 DAY TEST, ALL FOOTINGS ARE TO REST ON VIRGIN, UNDISTURBED SOIL.
- EACH TRADE IS RESPONSIBLE FOR BROOM SWEEP CLEANING OF JOB SITE AT THE END OF EACH WORKING DAY.

MINIMUM UNIFORM DISTRIBUTED DESIGN LOADS (REFER TO TABLE R301.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE)		ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS (REFER TO TABLE R301.7 OF 2015 IRC)	
USE	LIVE LOAD	DEAD LOAD	STRUCTURAL MEMBER
EXTERIOR BALCONIES AND DECKS	40 psf	10 psf	RAFTERS HAVING SLOPES GREATER THAN 3 ON 12 WITH NO FINISHED CEILINGS ATTACHED TO RAFTERS
FIRE ESCAPES	40 psf	10 psf	INTERIOR WALLS AND PARTITIONS
PASSENGER VEHICLE GARAGES	50 psf	10 psf	FLOORS AND PLASTERED CEILINGS
ATTICS WITHOUT STORAGE (ROOF SLOPE 3 PITCH)	10 psf	10 psf	ALL OTHER STRUCTURAL MEMBERS
ATTICS WITH STORAGE (ROOF SLOPE 3 PITCH)	20 psf	10 psf	EXTERIOR WALLS WITH PLASTER OR STUCCO
ROOMS OTHER THAN SLEEPING ROOMS	40 psf	10 psf	EXTERIOR WALLS - WIND LOADS WITH FLEETING PRESSURE
SLEEPING ROOMS	40 psf	10 psf	EXTERIOR WALLS - WIND LOADS WITH FLEETING PRESSURE
GUARDRAILS AND HANDRAILS	200 lbs	10 psf	LIMITS SUPPORTING MASONRY VENEER
ROOF LOADING (LIVE + GROUND SNOW LOAD ADJUSTMENTS AS PER TABLE R301.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE)	30 psf	12 psf	

TABLE R301.2 (1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA					
GROUND SPEED LOAD	WIND SPEED (mph)	SEISMIC CATEGORY	SUBJECT TO DAMAGE FROM 1.2	WATER DESIGN TEMP.	ICE WIND DESIGN TEMP.
30 PSF	120 (mph)	B	SEVERE	3 FEET	MODERATE

FINAL SURVEY REQUIRED  
PRIOR TO ISSUE OF C.O.F.O.

SEPARATE PERMITS REQUIRED FOR  
HVAC, PLUMBING, DEMOLITION,  
DRYWELLS, & SURFACE COVERAGE.

FOUNDATION LOCATION SURVEY  
REQUIRED PRIOR TO START OF  
FRAMING

## WINDOWS: CODE COMPLIANCE

- NOTE:  
ALL WINDOWS IN HABITABLE SPACES MEET REQUIREMENTS OF THE NYS BUILDING CODE FOR LIGHT, VENTILATION AND EGRESS.
- NOTE:  
ALL NEW WINDOWS SHALL MEET THE NYS CODE FOR:  
1. ENERGY CODE COMPLIANCE  
2. WIND PRESSURE DESIGN LOADS  
3. AIRBORNE OBJECT IMPACT LOADS OR AS ALTERNATIVE, PROTECTION SHALL BE PROVIDED IN COMPLIANCE WITH SECTION R301.2.1.2 AND TABLE R301.2.1.2 (FASTENERS) (required within 1 mile of water)

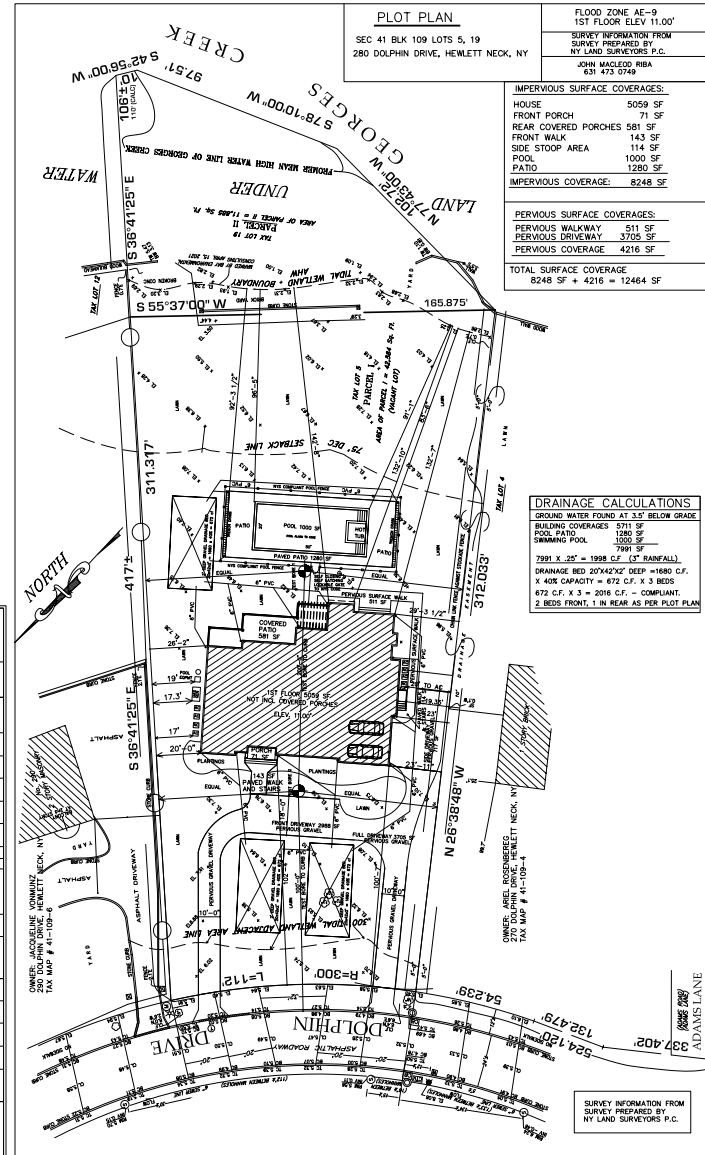
PROTECTION METHOD OF COMPLIANCE:  
WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16" (11.1 MM) AND A MAXIMUM SPAN OF 8 FEET SHALL BE PERMITTED FOR SPACING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 301.2.1.2 OR SHALL BE DESIGNED TO RESIST THE COMPONENTS AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE OF NEW YORK STATE.

WIND BORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS (a,b,c,d)			
FASTENER SPACING			
FASTENER TYPE	PANEL SPAN ≤ 4 FOOT	4 FOOT ≤ PANEL SPAN ≤ 6 FOOT	6 FOOT ≤ PANEL SPAN ≤ 8 FOOT
2"x6" #6 WOOD SCREWS	16"	12"	9"
2"x6" #6 WOOD SCREWS	16"	16"	12"

- a. THIS TABLE IS BASED ON 110 M.P.H. WIND SPEEDS AND A 33-FOOT MEAN ROOF HEIGHT.
- b. FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL.
- c. NAILS SHALL BE 10d COMMON OR 12d BOX NAILS.
- d. WHERE SCREWS ARE ATTACHED TO MASONRY OR STUCCO, THEY SHALL BE ATTACHED UTILIZING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 490 POUNDS.

DEC APPROVAL GRANTED 5/18/21:  
DEC TIDAL WETLAND PERMIT I.D. 1-2820-03477/00007

280 DOLPHIN DRIVE, HEWLETT NECK, NY		RESIDENTIAL C DISTRICT	
SECTION 41, BLOCK 109, LOT 5 & 19,		FLOOD ZONE AE-9 PROPOSED 1ST FLR ELEVATION = 11.00'	
ZONING INFORMATION	PERMITTED RESIDENCE C DISTRICT	PROPOSED RESIDENCE C DISTRICT	
LOT SIZE	MIN.30000 S.F.	54469 S.F.	OK
USE:	SINGLE FAMILY RES.	SINGLE FAMILY RES.	OK
HEIGHT:	30'	30'	OK
FRONT YARD:	30'	100'-7"	OK
SIDE YARD LEFT	20' MIN	20'	OK
SIDE YARD RIGHT	20' MIN	23' TO HOUSE	OK
REAR YARD:	30'	19.35' TO SIDE STOOP	BZA
		132'-7" HOUSE TO TIDAL BOUNDARY	OK
		91'-1" pool to tidal boundary	OK
		83'-6" pool patio to tidal boundary	OK
MAX PERMITTED GROSS FLOOR AREA:	9247 S.F. MAX. (5,984+ 3447 S.F.)	10,029 SF. = 782 sf over (1ST 5059 + 2ND 4970)	BZA
MAX PERMITTED BLDG AREA COVERAGE:	4500 S.F. MAX.	5711 SF = 1211 sf over (HOUSE 5059 + PORCHES 4950)	BZA
		5711 SF = 10.48% BLDG COVERAGE	OK
MAX PERMITTED FRONT YARD HEIGHT SETBACK RATIO	0.6	0.36	OK
MAX PERMITTED HEIGHT SETBACK RATIO (LEFT SIDE YARD)	1.0	1.20	BZA
MAX PERMITTED HEIGHT SETBACK RATIO (RIGHT SIDE YARD)	1.0	1.00	OK
MAX PERMITTED HEIGHT SETBACK RATIO (REAR YARD)	0.6	0.24	OK
MAX PERMITTED IMPERVIOUS SURFACE COVERAGE:	11260 + 22% X 14468 (+ 3183) = 14443 SF	IMPERVIOUS SURFACES BUILDING TOTAL 2537 SF + 5711 = 8248 SF	OK
MAX PERMITTED SURFACE COVERAGE FRONT YARD:	25% OF FRONT YARD = 3206 SF MAX	FRONT YARD PERVIOUS DRIVEWAY 2988 SF FRONT WALK 143 SF 3131 SF (24,41%)	OK
PROPOSED FRONT YARD AREA 12626 SF			OK



DATE: MAY 4TH 2021  
SCALE:  
REVISIONS: MAY 19 2021  
DRAWING TITLE: PLOT PLAN, SITE INFORMATION  
SIGNED: CHRISTOPHER ALBERT ENG. R.A.

THIS CERTIFIES THAT THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF THE SIGNER, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK, AND THAT THE SIGNER IS A MEMBER OF THE NEW YORK STATE SOCIETY OF PROFESSIONAL ENGINEERS. THE SIGNER ACCEPTS RESPONSIBILITY FOR THE PREPARATION OF THESE PLANS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE EARTHQUAKE ENGINEERING AND SEISMIC DESIGN REGULATIONS.

JOHN MACLEOD RIBA INC.  
631 473 0749  
DRAWING TITLE: PLOT PLAN, SITE INFORMATION

SHOWMAN RESIDENCE  
280 DOLPHIN DRIVE  
HEWLETT NECK, NEW YORK

- PLATES AND SILLS  
 □ BOTTOM OF SILL 8in. TO EARTH .... 323.1  
 □ SILL MATERIAL TREATED OR NATURALLY DECAY - RESISTANT .... 323.1

#### ANCHOR BOLTS

- 5/8 in. BOLTS MIN. 7in. EMBEDMENT MAX 3in. SPACING .... 403.1.6  
 □ WITHIN 12in. OF END OF SILL .... FIG. B5 403.1.6  
 □ SDC D1/D2: 3in. BEARING PLATE WASHERS, BOLTS 3in. O.C. FOR 2 STORY .... 403.1.6.1

#### HOLD-DOWNS

- BOLTS INSTALLED TO MANUFACTURER'S SPECS .... FIG. B5 MANU  
 □ ALL LOAD TRANSFERS FLOOR TO FLOOR TO DESIGN SPECS .... 601.2  
 □ HOLD-DOWN EMBEDMENT PER DESIGN SPECS .... MANU.

#### CONCRETE MASONRY UNITS (CMU'S)

##### GENERAL

- 8in. BLOCK OK FOR ONE STORY < 9 ft .... 606.2.1  
 □ 8in. BLOCK IF MORE THAN ONE STORY OR > 9 ft .... 606.2.1  
 □ BEAM CONNECTIONS 1/2 in. AIR SPACE ON 3 SIDES .... 323.1  
 □ ROOF AND FLOOR STRUCTURES TO BE ANCHORED TO MASONRY WALLS .... 606.10

##### GROUT

- ALL CELLS WITH REINFORCEMENT MUST BE FILLED .... 609.4.1  
 □ CLEANOUTS REQUIRED AT BOTTOM OF EACH GROUTED CELL FOR POURS .... 609.1.5.2  
 □ GROUT CONTINUOUS POUR, MAX. LIFT 5ft .... 609.1.4  
 □ CLEAN GROUT SPACE - MAX. 1/2in. PROJECTIONS .... 609.1.3

##### REINFORCING

- S0 CATEGORY D1 & D2: MIN. #3 VERTICAL BARS 4in. O.C. .... 404.1.4  
 □ VERTICAL REBAR < 6% OF GROUT SPACE .... 1609.1.2  
 □ LAP REBAR SPICES 40x BAR DIA. .... FIG. B6.10 (2)  
 □ SUPPORT POSITIONERS MIN. 200 BAR DIA. (EPL. #4 BAR) .... 609.4.1  
 □ COVER MIN. 3/4 in.; 2in. TO WEATHER OR SOIL .... 606.12

##### SMOKE DETECTORS

- NEW CONSTRUCTION HARD-WIRED WITH BATTERY BACKUP .... 317.2  
 □ REQUIRED IN EACH BEDROOM AND ADJOINING HALL FIG. B25 317.1  
 □ AT LEAST ONE REQUIRED EACH STORY AND BASEMENT .... FIG. B25  
 □ 317.1  
 □ MUST BE INTERCONNECTED AND AUDIBLE FROM SLEEPING ROOMS .... 317.1  
 □ COMPLIANCE REQUIRED FOR INTERIOR REMODELING REQUIRING PERMIT .... 317.1  
 □ BATTERY OPERATED O.K. IF NO FINISHES REMOVED .... 317.1.1X

NOTE:  
P.C. FND. WALLS & FTGS.

NEW 2x WALL CONSTRUCTION

NOTE:  
O.C. RESPONSIBLE FOR ORDERING SOIL  
TEST AND CHECK FOR BEARING  
CAPACITY OF SOIL AND WATER TABLE  
LEVEL. (PLANS ASSUME A BEARING  
CAPACITY OF 2 TONS PER SQ. FT.)

TYPICAL NEW SLAB TO EX. CONC. WALL  
 EX. FND. WALL  
 JOINT SEALER  
 EXPANSION JOINT MATERIAL  
 NEW SLAB

#### RESIDENTIAL CODE OF N.Y.S.

##### EMERGENCY ESCAPE AND RESCUE OPENINGS

R301.1 MINIMUM OPENING AREA, ALL EMERGENCY ESCAPE  
AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR  
OPENING OF 5.7 SQUARE FEET

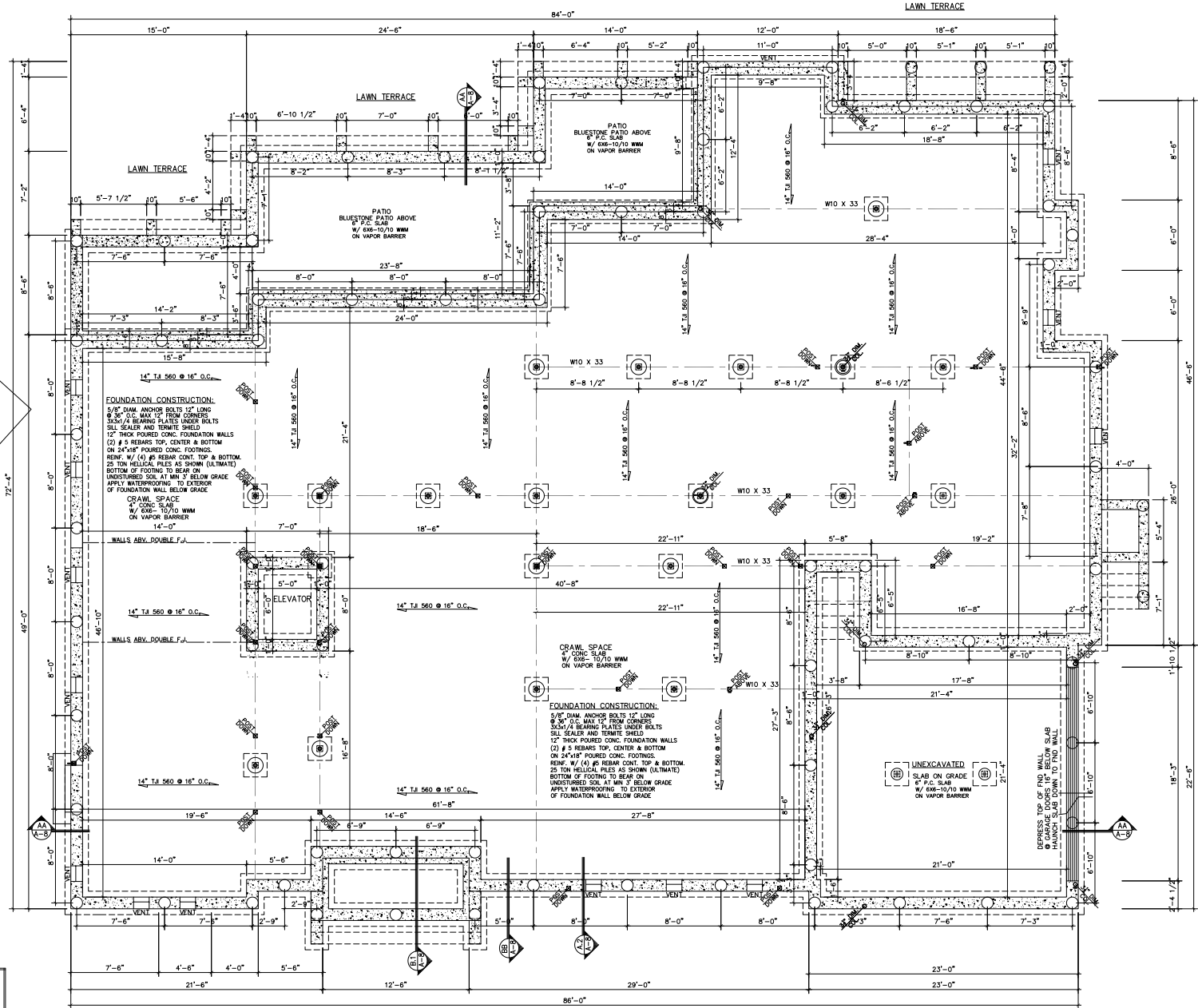
EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A  
MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.

R301.2 MINIMUM OPENING HEIGHT: THE MINIMUM NET CLEAR  
OPENING HEIGHT SHALL BE 24 INCHES.

R301.3 MINIMUM OPENING WIDTH: THE MINIMUM NET CLEAR  
OPENING WIDTH SHALL BE 20 INCHES.

R905.2.7.1 ICE PROTECTION: IN AREAS WHERE THE AVERAGE DAILY  
TEMPERATURE IN JANUARY IS 25° (-40°) OR LESS OR WHEN TABLE  
R302.2(2) CRITERIA TO DESIGNATES AN ICE BARRIER THAT  
CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED  
TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN  
SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND  
EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES  
(610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

NOTE: ALL NEW HABITABLE SPACES ARE PROVIDED WITH  
WINDOWS AND DOORS THAT MEET AND EXCEED THE  
REQUIREMENTS OF NYS CODE FOR EGRESS, LIGHT AND VENTILATION,  
AND MUST MEET LOCAL REQUIREMENTS FOR WIND AND IMPACT LOADS



2 FOUNDATION PLAN  
 A-9

SCALE = 1/4" = 1'-0"  
 0 1 2 3 4 5 10

DATE: MAY 4TH 2021 SCALE: 1/4" = 1'-0" REVISIONS:	08-6	A-2
	SITE LOCATION: SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK	
DRAWING TITLE: FOUNDATION AND 1ST FLOOR PLANS		
JOHN MACLEOD RIBA INC. 631 473 0749 SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK		

- PLATES AND SILLS
- BOTTOM OF SILL 8in. TO EARTH .... 323.1
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  - ROOF AND FLOOR STRUCTURES TO BE ANCHORED TO MASONRY WALLS .... 606.10

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- GROUT CONTINUOUS POUR, MAX. LIFT 5ft .... 609.1.4
- CLEAN GROUT SPACE - MAX. 1/2in. PROJECTIONS .... 609.1.3

#### REINFORCING

- SO CATEGORY D1 & D2: MIN. #3 VERTICAL BARS 4in. O.C. .... 404.1.4
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- LAP REBAR SPACES 40x BAR DIA. .... FIG. B6 10 (2)
- SUPPORT/POSITIONERS MIN. 200 BAR DIA. (BIL. #4 BAR) .... 609.4.1
- COVER MIN. 3/4 in.; 2in. TO WEATHER OR SOIL .... 606.12

#### SMOKE DETECTORS

- NEW CONSTRUCTION HARD-WIRED WITH BATTERY BACKUP .... 317.2
- REQUIRED IN EACH BEDROOM AND ADJOINING HALL .... FIG. B25 317.1
- AT LEAST ONE REQUIRED EACH STORY AND BASEMENT .... FIG. B25
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- MUST BE INTERCONNECTED AND AUDIBLE FROM SLEEPING ROOMS .... 317.1
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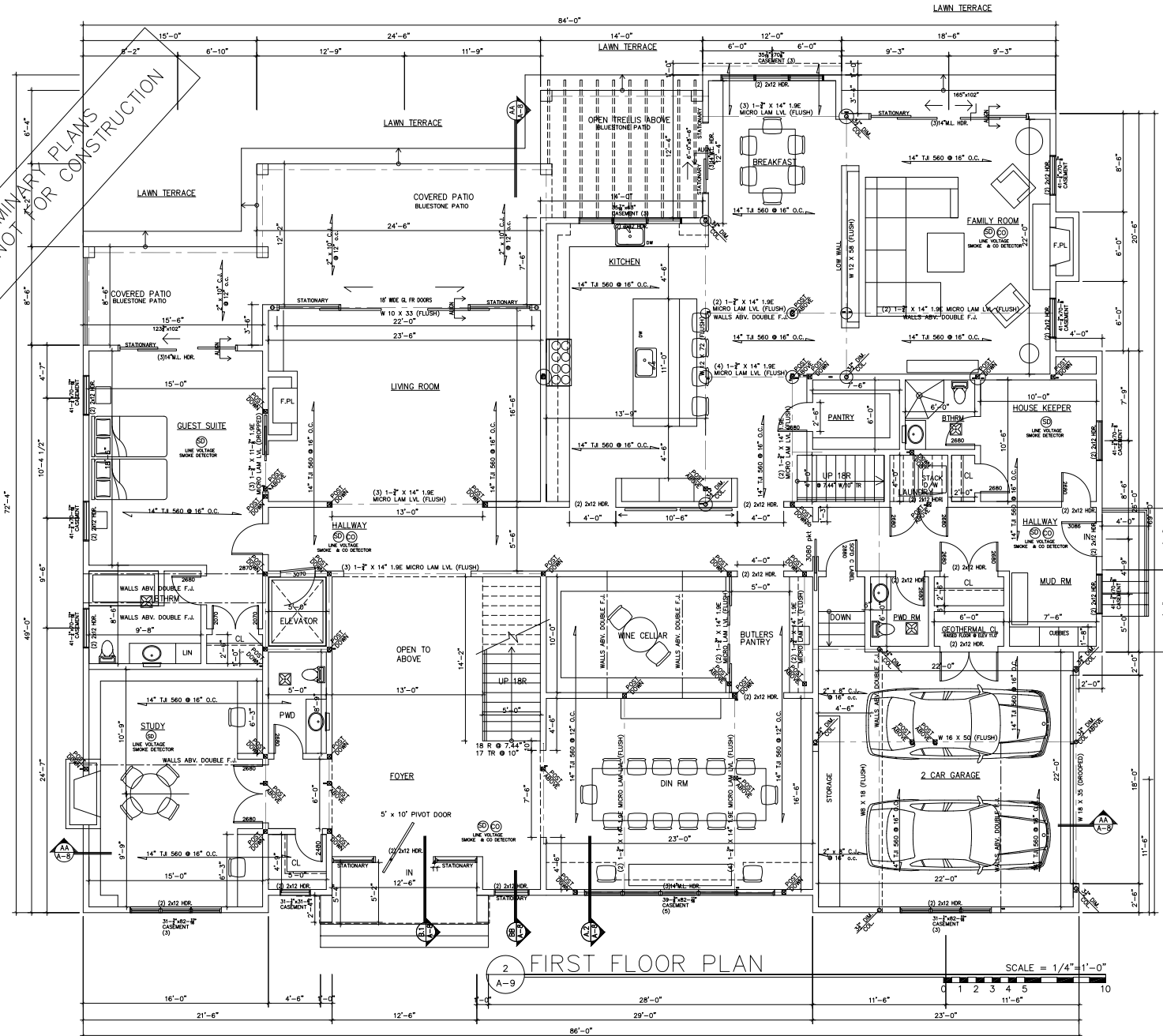
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PRELIMINARY PLANS  
- NOT FOR CONSTRUCTION



DATE: MAY 4TH 2021  
SCALE: 1/4" = 1'-0"  
REVISIONS:

08-6  
A-3

SITE LOCATION  
SHOWMAN RESIDENCE  
280 DOLPHIN DRIVE  
HEWLETT NECK, NEW YORK

JOHN MACLEOD RIBA INC.  
631 473 0749

SHOWMAN RESIDENCE  
280 DOLPHIN DRIVE  
HEWLETT NECK, NEW YORK

DRAWING TITLE:  
1ST AND 2ND FLOOR PLANS

- PLATES AND SILLS  
 □ BOTTOM OF SILL 8in. TO EARTH .... 323.1  
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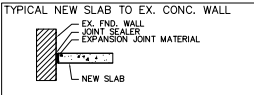
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NEW 2x WALL CONSTRUCTION

NOTE:  
 G.C. RESPONSIBLE FOR ORDERING SOIL TEST AND CHECK FOR BEARING CAPACITY OF SOIL AND WATER TABLE LEVEL. (PLANS ASSUME A BEARING CAPACITY OF 2 TONS PER SQ. FT.)



RESIDENTIAL CODE OF N.Y.S.  
 EMERGENCY ESCAPE AND RESCUE OPENINGS  
 R310.1.1 MINIMUM OPENING AREA. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

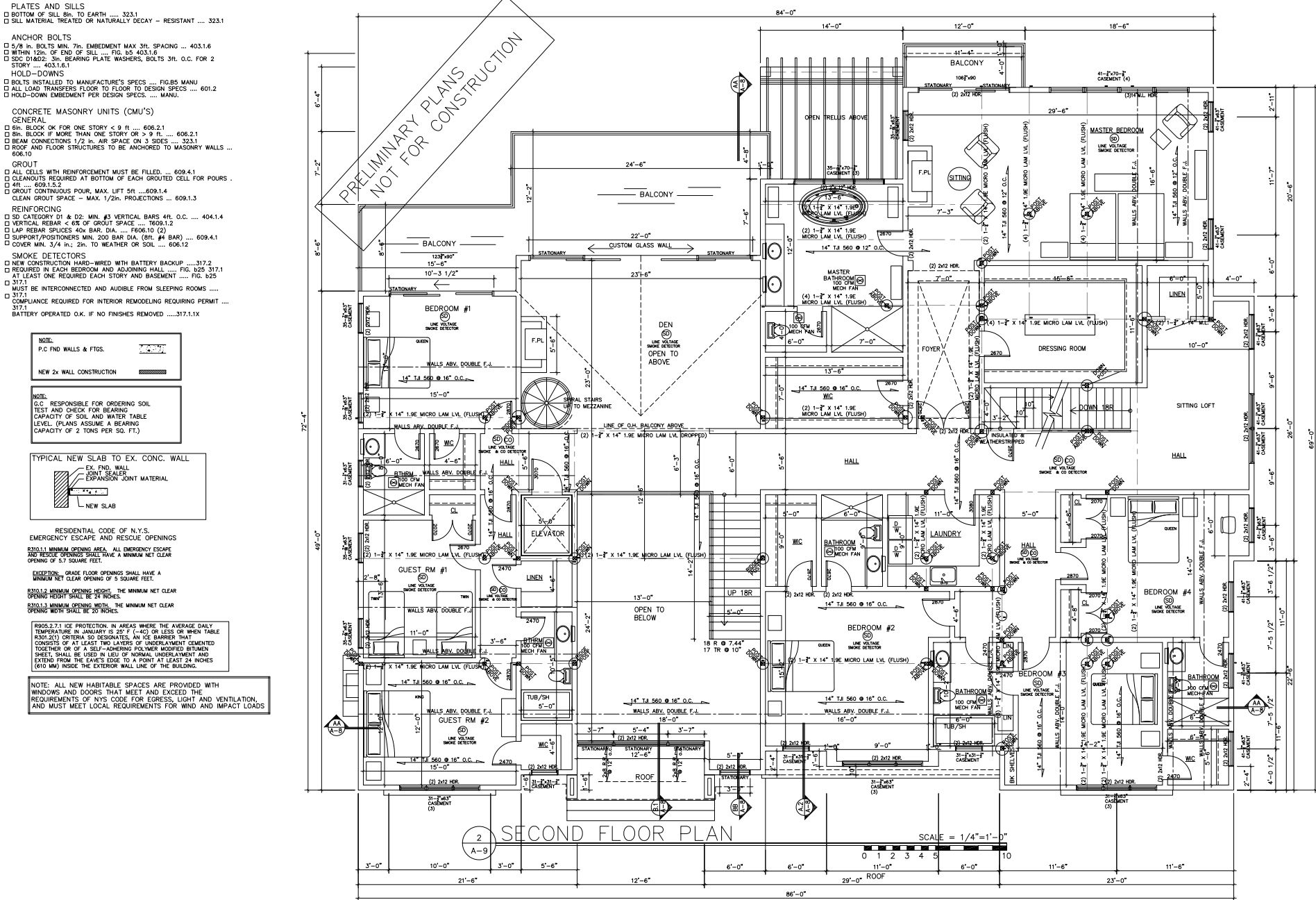
EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.

R310.1.2 MINIMUM OPENING HEIGHT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.

R310.1.3 MINIMUM OPENING WIDTH. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

R905.2.7.1 ICE PROTECTION. IN AREAS WHERE THE AVERAGE DAILY TEMPERATURE IN JANUARY IS 29° F (-4°C) OR LESS OR WHEN TABLE R905.2(2) CRITERIA SO DESIGNATES, AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAMENT AND EXTENDING FROM THE LEAVE'S EDGE TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

NOTE: ALL NEW HABITABLE SPACES ARE PROVIDED WITH WINDOWS AND DOORS THAT MEET AND EXCEED THE REQUIREMENTS OF NYS CODE FOR EGRESS, LIGHT AND VENTILATION, AND MUST MEET LOCAL REQUIREMENTS FOR WIND AND IMPACT LOADS



DATE: MAY 4TH 2021 SCALE: 1/4" = 1'-0" REVISIONS:	08-6
	A-4
SITE LOCATION: SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK	
DRAWING TITLE: 3RD AND ROOF FRAMING PLANS	
JOHN MACLEOD RIBA INC. 631 473 0749	
SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK	



PLATES AND SILLS  
 □ BOTTOM OF SILL 8in. TO EARTH .... 323.1  
 □ SILL MATERIAL TREATED OR NATURALLY DECAY - RESISTANT .... 323.1

ANCHOR BOLTS  
 □ 5/8 in. BOLTS MIN. 7in. EMBEDMENT MAX 3in. SPACING .... 403.1.6  
 □ WITHIN 12in. OF END OF SILL .... FIG. B5 403.1.6  
 □ SDC DIV202: 3in. BEARING PLATE WASHERS, BOLTS 3in. O.C. FOR 2 STORY ... 403.1.6.1

HOLD-DOWNS  
 □ BOLTS INSTALLED TO MANUFACTURER'S SPECS .... FIG.B5 MANU  
 □ ALL LOAD TRANSFERS FLOOR TO FLOOR TO DESIGN SPECS .... 601.2  
 □ HOLD-DOWN EMBEDMENT PER DESIGN SPECS. .... MANU.

CONCRETE MASONRY UNITS (CMU'S)  
 GENERAL  
 □ 8in. BLOCK OK FOR ONE STORY < 9 ft ... 606.2.1  
 □ 8in. BLOCK IF MORE THAN ONE STORY OR > 9 ft ... 606.2.1  
 □ BEAM CONNECTIONS 1/2 in. AIR SPACE ON 3 SIDES .... 323.1  
 □ ROOF AND FLOOR STRUCTURES TO BE ANCHORED TO MASONRY WALLS ... 606.10

GROUT  
 □ ALL CELLS WITH REINFORCEMENT MUST BE FILLED. ... 609.4.1  
 □ CLEANOUTS REQUIRED AT BOTTOM OF EACH GROUTED CELL FOR POURS ... 609.1.2  
 □ GROUT CONTINUOUS POUR, MAX. LIFT 5ft ... 609.1.4  
 □ CLEAN GROUT SPACE - MAX. 1/2in. PROJECTIONS ... 609.1.3

REINFORCING  
 □ SD CATEGORY D1 & D2: MIN. #3 VERTICAL BARS 4ft. O.C. .... 404.1.4  
 □ VERTICAL REBAR < 6X OF GROUT SPACE ... 7609.1.2  
 □ LAP REBAR SPICES 40x BAR DIA. ... FIG.10 (2)  
 □ SUPPORT/POSITIONERS MIN. 200 BAR DIA. (REL. #4 BAR) ... 609.4.1  
 □ COVER MIN. 3/4 in.; 2in. TO WEATHER OR SOIL ... 606.12

SMOKE DETECTORS  
 □ NEW CONSTRUCTION HARD-WIRED WITH BATTERY BACKUP ... 317.2  
 □ REQUIRED IN EACH BEDROOM AND ADJOINING HALL ... FIG. b25 317.1  
 □ AT LEAST ONE REQUIRED EACH STORY AND BASEMENT ... FIG. b25  
 □ 317.1  
 □ MUST BE INTERCONNECTED AND AUDIBLE FROM SLEEPING ROOMS ... 317.1  
 □ COMPLIANCE REQUIRED FOR INTERIOR REMODELING REQUIRING PERMIT ... 317.1  
 □ BATTERY OPERATED O.K. IF NO FINISHES REMOVED ... 317.1.1X

NOTE:  
 P.C. FND WALLS & FTGS.  
 NEW 2x WALL CONSTRUCTION

NOTE:  
 G.C. RESPONSIBLE FOR ORDERING SOIL TEST AND CHECK FOR BEARING CAPACITY OF SOIL AND WATER TABLE LEVEL. (PLANS ASSUME A BEARING CAPACITY OF 2 TONS PER SQ. FT.)

TYPICAL NEW SLAB TO EX. CONC. WALL  
 EX. FND. WALL  
 JOINT SEALER  
 EXPANSION JOINT MATERIAL  
 NEW SLAB

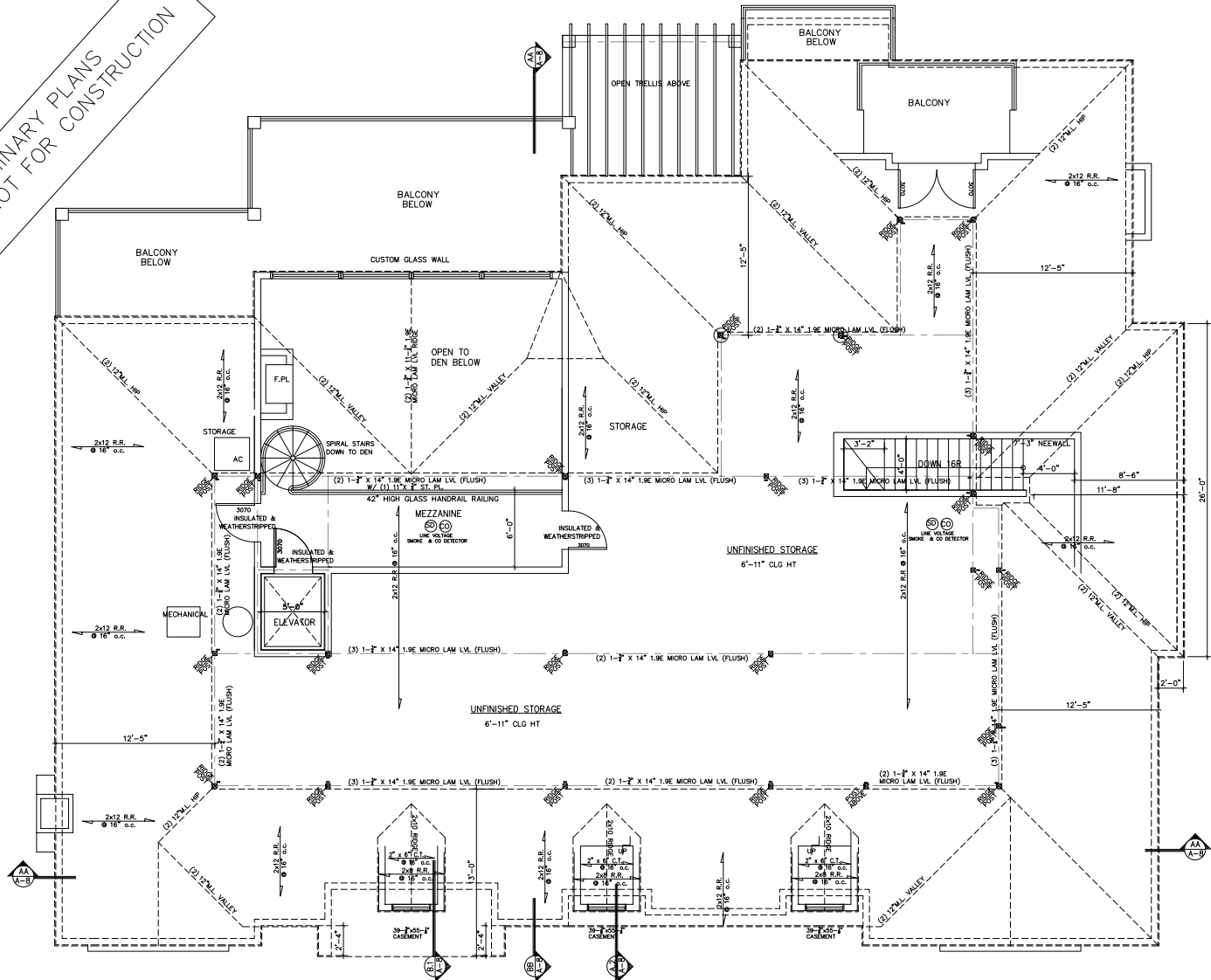
RESIDENTIAL CODE OF N.Y.S.  
 EMERGENCY ESCAPE AND RESCUE OPENINGS  
 R310.1.1 MINIMUM OPENING AREA. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.  
 EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.

R310.1.2 MINIMUM OPENING HEIGHT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.  
 R310.1.3 MINIMUM OPENING WIDTH. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

R905.2.7.1 ICE PROTECTION. IN AREAS WHERE THE AVERAGE DAILY TEMPERATURE IN JANUARY IS 29° F (-4°C) OR LESS OR WHEN TABLE R302.2(2) CRITERIA SO DESIGNATES, AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTENDING FROM THE LEAVE'S EDGE TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

NOTE: ALL NEW HABITABLE SPACES ARE PROVIDED WITH WINDOWS AND DOORS THAT MEET AND EXCEED THE REQUIREMENTS OF NYS CODE FOR EGRESS, LIGHT AND VENTILATION, AND MUST MEET LOCAL REQUIREMENTS FOR WIND AND IMPACT LOADS

PRELIMINARY PLANS  
 - NOT FOR CONSTRUCTION



2 THIRD FLOOR PLAN

SCALE = 1/4"=1'-0"

DATE: MAY 4TH 2021 SCALE: 1/4" = 1'-0" REVISIONS:	A-5
SITE LOCATION: SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK	DRAWING TITLE: ELEVATIONS
JOHN MACLEOD RIBA INC. 631 473 0749	
SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK	

- PLATES AND SILLS  
 □ BOTTOM OF SILL 8in. TO EARTH .... 323.1  
 □ SILL MATERIAL TREATED OR NATURALLY DECAY - RESISTANT .... 323.1

- ANCHOR BOLTS  
 □ 5/8 in. BOLTS MIN. 7in. EMBEDMENT MAX 3in. SPACING .... 403.1.6  
 □ WITHIN 12in. OF END OF SILL .... FIG. B5 403.1.6  
 □ SDC D1/D2: 3in. BEARING PLATE WASHERS, BOLTS 3in. O.C. FOR 2 STORY .... 403.1.6.1  
 □ HOLD-DOWNS  
 □ BOLTS INSTALLED TO MANUFACTURER'S SPECS .... FIG. B5 MANU  
 □ ALL LOAD TRANSFERS FLOOR TO FLOOR TO DESIGN SPECS .... 601.2  
 □ HOLD-DOWN EMBEDMENT PER DESIGN SPECS. .... MANU.

- CONCRETE MASONRY UNITS (CMU'S)  
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 □ 8in. BLOCK OK FOR ONE STORY < 9 ft. .... 606.2.1  
 □ 8in. BLOCK IF MORE THAN ONE STORY OR > 9 ft. .... 606.2.1  
 □ BEAM CONNECTIONS 1/2 in. AIR SPACE ON 3 SIDES .... 323.1  
 □ ROOF AND FLOOR STRUCTURES TO BE ANCHORED TO MASONRY WALLS .... 606.10

- GROUT  
 □ ALL CELLS WITH REINFORCEMENT MUST BE FILLED. .... 609.4.1  
 □ CLEANOUTS REQUIRED AT BOTTOM OF EACH GROUTED CELL FOR POURS. .... 609.1.2  
 □ GROUT CONTINUOUS POUR, MAX. LIFT 5ft. .... 609.1.4  
 □ CLEAN GROUT SPACE - MAX. 1/2in. PROJECTIONS .... 609.1.3

- REINFORCING  
 □ SDC CATEGORY D1 & D2: MIN. #3 VERTICAL BARS 4ft. O.C. .... 404.1.4  
 □ VERTICAL REBAR < 6% OF GROUT SPACE .... T609.1.2  
 □ LAP REBAR SPICES 40x BAR DIA. .... T606.10 (2)  
 □ SUPPORT/POSITIONERS MIN. 200 BAR DIA. (EPL #4 BAR) .... 609.4.1  
 □ COVER MIN. 3/4 in.; 2in. TO WEATHER OR SOIL .... 606.12

- SMOKE DETECTORS  
 □ NEW CONSTRUCTION HARD-WIRED WITH BATTERY BACKUP .... 317.2  
 □ REQUIRED IN EACH BEDROOM AND ADJOINING HALL .... FIG. B23 317.1  
 □ AT LEAST ONE REQUIRED EACH STORY AND BASEMENT .... FIG. B25  
 □ 317.1  
 □ MUST BE INTERCONNECTED AND AUDIBLE FROM SLEEPING ROOMS ....  
 □ 317.1  
 □ COMPLIANCE REQUIRED FOR INTERIOR REMODELING REQUIRING PERMIT ....  
 □ 317.1  
 □ BATTERY OPERATED O.K. IF NO FINISHES REMOVED .... 317.1.1X

NOTE:  
 P.C. FND WALLS & FTGS.  
 NEW 2x WALL CONSTRUCTION

NOTE:  
 G.C. RESPONSIBLE FOR ORDERING SOIL TEST AND CHECK FOR BEARING CAPACITY OF SOIL AND WATER TABLE LEVEL. (PLANS ASSUME A BEARING CAPACITY OF 2 TONS PER SQ. FT.)

TYPICAL NEW SLAB TO EX. CONC. WALL  
 EX. FND. WALL  
 JOINT  
 EXPANSION JOINT MATERIAL  
 NEW SLAB

RESIDENTIAL CODE OF N.Y.S.  
 EMERGENCY ESCAPE AND RESCUE OPENINGS

E3101.1 MINIMUM OPENING AREA, ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.

E3101.2 MINIMUM OPENING HEIGHT, THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.

E3101.3 MINIMUM OPENING WIDTH, THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

ROOF CONSTRUCTION:  
 40 YEAR ARCHITECTURAL ROOFING  
 3/8" FELT PAPER  
 3/4" CDX PLYWOOD SHEATHING  
 2"x12" ROOF RAFTERS @ 16" o.c. (SEE PLANS)  
 & 2"x4" ROOF RATTIES @ 16" o.c. (SEE PLANS)  
 MICROLAM BEAMS AS PER PLANS  
 2x6 COLLAR TIES @ 16" o.c.  
 CONT. RIDGE VENTS  
 EXTEND ICE SHIELD 34" HORIZ DM FROM EAVES, VALLEYS & JUNCTIONS

FLAT ROOF AREAS:  
 SINGLE PLY RUBBER ROOF  
 MEMBRANE BY WR GRACE OR EQUAL  
 3/4" CDX PLYWOOD ROOF SHEATHING  
 ON FURRING STRIPS, 1/4" PER FT PITCH.

INSULATION:  
 R-21 @ 6" EXTERIOR WALLS OPEN CELL INSULATION  
 R-38 @ CEILING OPEN CELL INSULATION  
 INSULATE BETWEEN FLOORS, BED ROOMS AND BATH ROOMS IN COMPLIANCE WITH ROYTS

WALL CONSTRUCTION:  
 ALUMINUM LEADERS AND GUTTERS  
 1" X 8" AZEK OR EQUAL FASCIA  
 AZEK BOARDBOARD VENTED SOFFITS (UNVENTED IF SPRAY INSULATION USED)  
 SIDING AS PER ELEVATIONS  
 SIDING CEDAR SHINGLES  
 COLOR TO BE SELECTED  
 TYVEK HOUSE WRAP, TAPED @ JOINTS & OPENINGS  
 1/2" CDX PLYWOOD SHEATHING  
 2"x6" STUDS @ 16" o.c. EXTERIOR  
 R-21 @ 6" EXTERIOR WALLS OPEN CELL INSULATION  
 5/8" EPS/SM BOARD ALL WALLS & CLG  
 UNLESS NOTED OTHERWISE  
 LOW E WINDOWS BY ANDERSEN OR EQUAL

FRAMED FLOOR CONSTRUCTION:  
 3/4" PLYWOOD SUB FLOOR  
 14" T&G 360 @ 16" o.c.  
 @ 12" & 16" o.c. SEE PLANS  
 CROSS BRIDGING @ 1/3 SPAN

FOUNDATION CONSTRUCTION:  
 5/8" DIAL ANCHOR BOLTS 12" LONG @ 36" o.c. MAX 12" FROM CORNERS  
 3/8x4" BEARING PLATES UNDER BOLTS  
 SILL SEALER AND TERMITE SHIELD  
 12" THICK POURED CONC. FOUNDATION WALLS  
 W/ (2) #6 REBARS TOP, CENTER & BOTTOM CONTINUOUS ON 22"x18" POURED CONC. GRADE BEAMS FOOTINGS.  
 HENT. W/ (4) #6 REBAR CONC. TOP AND BOTTOM.  
 20 TON HELICAL PILES AS PER PLANS  
 APPLY WATERPROOFING TO EXTERIOR OF FOUNDATION WALL BELOW GRADE

R905.2.7.1 ICE PROTECTION, IN AREAS WHERE THE AVERAGE DAILY TEMPERATURE IN JANUARY IS 25°F (-4°C) OR LESS OR WHEN TABLE R301.2(1) CRITERIA SO DESIGNATES, AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAMENT OR LAMINATED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAMENT AND EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

NOTE: ALL NEW HABITABLE SPACES ARE PROVIDED WITH WINDOWS AND DOORS THAT MEET AND EXCEED THE REQUIREMENTS OF NYS CODE FOR EGRESS, LIGHT AND VENTILATION, AND MUST MEET LOCAL REQUIREMENTS FOR WIND AND IMPACT LOADS

PRELIMINARY PLANS  
 - NOT FOR CONSTRUCTION

## 2 ROOF PLAN

SCALE = 1/4"=1'-0"  
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DATE: MAY 4TH 2021  
 SCALE: 1/4" = 1'-0"  
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DATE: MAY 4TH 2021  
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**ROOF CONSTRUCTION:**  
 CEDAR SHINGLE ROOFING  
 5/8" FELT PAPER  
 3/4" CDX PLYWOOD SHEATHING  
 2"x12" ROOF RAFTERS @ 16" O.C. (SEE PLANS)  
 & 2"x6" ROOF BATTENS @ 16" O.C. (SEE PLANS)  
 MICROSLIM BEAMS AS PER PLANS  
 2X6 COLLAR TIES @ 16" O.C.  
 CONT. ROOF VENTS  
 EXTEND ICE SHIELD 24" HORIZ DM  
 FROM EAVES, VALLEYS & JUNCTIONS

**FLAT ROOF AREAS:**  
 SINGLE PLY RUBBER ROOF  
 MEMBRANE BY MR GRACE OR EQUAL  
 3/4" CDX PLYWOOD ROOF SHEATHING  
 OR FURRING STRIPS, 1/4" PIER FT PITCH.

**INSULATION:**  
 R-21 @ 6" EXTERIOR WALLS OPEN CELL INSULATION  
 R-38 @ CEILING OPEN CELL INSULATION  
 INSULATE BETWEEN FLOORS, BED ROOMS AND BATH ROOMS  
 IN COMPLIANCE WITH RCYS

**WALL CONSTRUCTION:**  
 ALUMINUM LEADERS AND GUTTERS  
 1"x3" & AZEK OR EQUAL FASCIA  
 AZEK BEADBOARD VENTED SOFFITS  
 (UNVENTED IF SPRAY INSULATION USED)  
 SIDING AS PER ELEVATIONS  
 SIDING CEDAR SHINGLES  
 COLOR TO BE SELECTED  
 TYPICAL HOUSE WRAP, TAPED @ JOINTS & OPENINGS  
 1/2" CDX PLYWOOD SHEATHING  
 2"x6" STUDS @ 16" O.C. EXTERIOR  
 R-21 @ 6" EXTERIOR WALLS OPEN CELL INSULATION  
 5/8" GYPSUM BOARD ALL WALLS & CLG  
 UNLESS NOTED  
 LOW E WINDOWS BY ANDERSEN OR EQUAL

**FRAMED FLOOR CONSTRUCTION:**  
 3/4" PLYWOOD SUB FLOOR  
 1"x4" @ 360 @ 16" O.C.  
 @ 12" & 18" O.C. SEE PLANS  
 CROSS BRIDGES @ 1/3 SPAN

**FOUNDATION CONSTRUCTION:**  
 5/8" DIAM ANCHOR BOLTS 1/2" LONG  
 1"x4" @ 360 @ 16" O.C.  
 5/8" O.C. MAX 12" FROM CORNERS  
 5/8" @ BEARING PLATES UNDER BOLTS  
 SILL SEALER AND TENSILE SHIELD  
 12" THICK POURED CONC. FOUNDATION WALLS  
 W/ (2) REBARS TOP, CENTER & BOTTOM CONTINUOUS  
 ON 22"x18" POURED CONC. GRADE BEAMS FOOTINGS  
 REIN. W/ (4) #6 REBAR CONT. TOP AND BOTTOM  
 20 TON HELICAL PILES AS PER PLANS  
 APPLY WATERPROOFING TO EXTERIOR  
 OF FOUNDATION WALL BELOW GRADE



1  
A-3 FRONT ELEVATION

SCALE = 1/4" = 1'-0"  
 0 1 2 3 4 5 10



1  
A-3 REAR ELEVATION

SCALE = 1/4" = 1'-0"  
 0 1 2 3 4 5 10

PLATES AND SILLS  
 □ BOTTOM OF SILL 8in. TO EARTH .... 323.1  
 □ SILL MATERIAL TREATED OR NATURALLY DECAY - RESISTANT .... 323.1

ANCHOR BOLTS  
 □ 5/8 in. BOLTS MIN. 7in. EMBEDMENT MAX 3in. SPACING ... 403.1.6  
 □ WITHIN 12in. OF END OF SILL ... FIG. B5 403.1.6  
 □ SSC DIAMET. 3in. BEARING PLATE WASHERS, BOLTS 3in. O.C. FOR 2 STORY ... 403.1.6.1

HOLD-DOWNS  
 □ BOLTS INSTALLED TO MANUFACTURE'S SPECS ... FIG. B5 MANU  
 □ ALL LOAD TRANSFERS FLOOR TO FLOOR TO DESIGN SPECS ... 601.2  
 □ HOLD-DOWN EMBEDMENT PER DESIGN SPECS ... MANU.

CONCRETE MASONRY UNITS (CMU'S)  
 GENERAL  
 □ 8in. BLOCK OK FOR ONE STORY < 9 ft ... 606.2.1  
 □ 8in. BLOCK IF MORE THAN ONE STORY OR > 9 ft ... 606.2.1  
 □ BEAM CONNECTIONS 1/2 in. AIR SPACE ON 3 SIDES ... 323.1  
 □ ROOF AND FLOOR STRUCTURES TO BE ANCHORED TO MASONRY WALLS ... 606.10

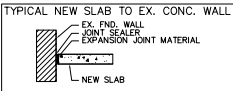
GROUT  
 □ ALL CELLS WITH REINFORCEMENT MUST BE FILLED. ... 609.4.1  
 □ CLEANOUTS REQUIRED AT BOTTOM OF EACH GROUTED CELL FOR POURS ... 609.1.3.2  
 □ GROUT CONTINUOUS POUR, MAX. LIFT 5ft ... 609.1.4  
 □ CLEAN GROUT SPACE - MAX. 1/2in. PROJECTIONS ... 609.1.3

REINFORCING  
 □ SO CATEGORY D1 & D2: MIN. #3 VERTICAL BARS 4in. O.C. ... 404.1.4  
 □ VERTICAL REBAR < 6% OF GROUT SPACE ... 7609.1.2  
 □ LAP REBAR SPICES 40x BAR DIA. ... FIG. 10.6 (2)  
 □ SUPPORT/POSITIONERS MIN. 200 BAR DIA. (Ø1. #4 BAR) ... 609.4.1  
 □ COVER MIN. 3/4 in.; 2in. TO WEATHER OR SOIL ... 606.12

SMOKE DETECTORS  
 □ NEW CONSTRUCTION HARD-WIRED WITH BATTERY BACKUP ... 317.2  
 □ REQUIRED IN EACH BEDROOM AND ADJOINING HALL ... FIG. b25 317.1  
 □ AT LEAST ONE REQUIRED EACH STORY AND BASEMENT ... FIG. b25  
 □ 317.1  
 □ MUST BE INTERCONNECTED AND AUDIBLE FROM SLEEPING ROOMS ... 317.1  
 □ COMPLIANCE REQUIRED FOR INTERIOR REMODELING REQUIRING PERMIT ... 317.1  
 □ BATTERY OPERATED O.K. IF NO FINISHES REMOVED ... 317.1.1X

NOTE:  
 P.C. FND WALLS & FTGS.  
 NEW 2x WALL CONSTRUCTION

NOTE:  
 G.C. RESPONSIBLE FOR ORDERING SOIL TEST AND CHECK FOR BEARING CAPACITY OF SOIL AND WATER TABLE LEVEL. (PLANS ASSUME A BEARING CAPACITY OF 2 TONS PER SQ. FT.)

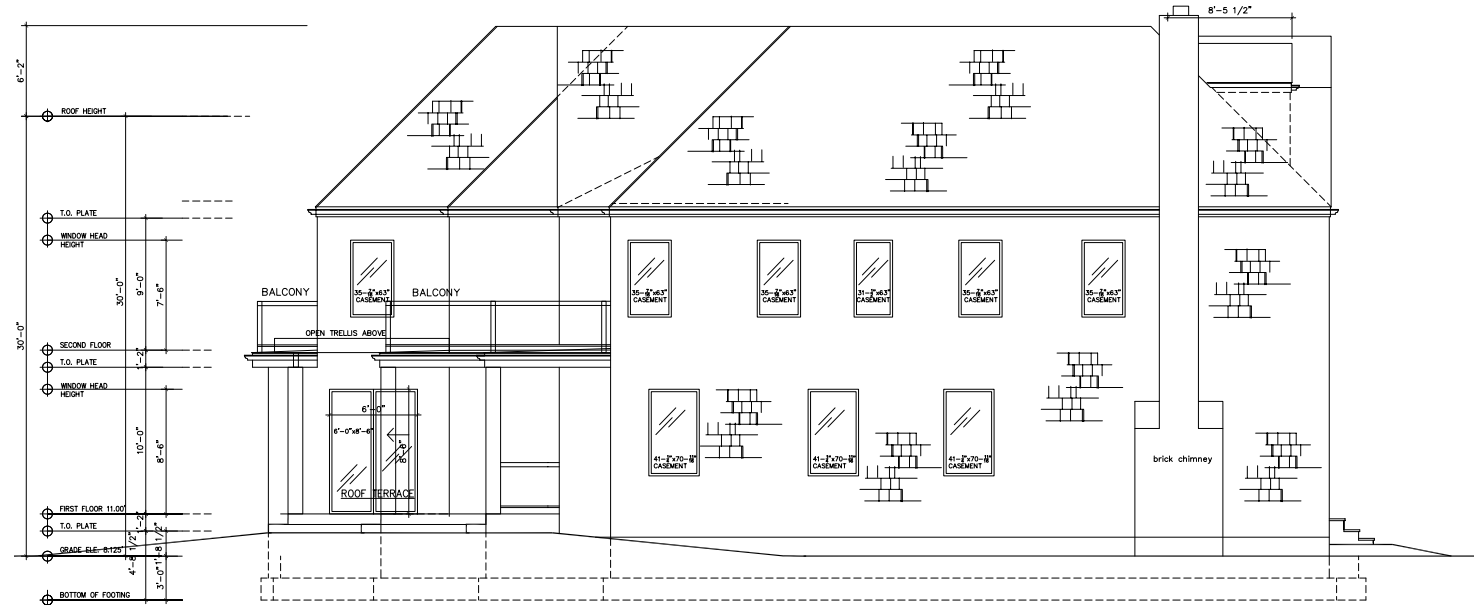


RESIDENTIAL CODE OF N.Y.S.  
 EMERGENCY ESCAPE AND RESCUE OPENINGS  
 §310.1.1 MINIMUM OPENING AREA. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.  
 EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.

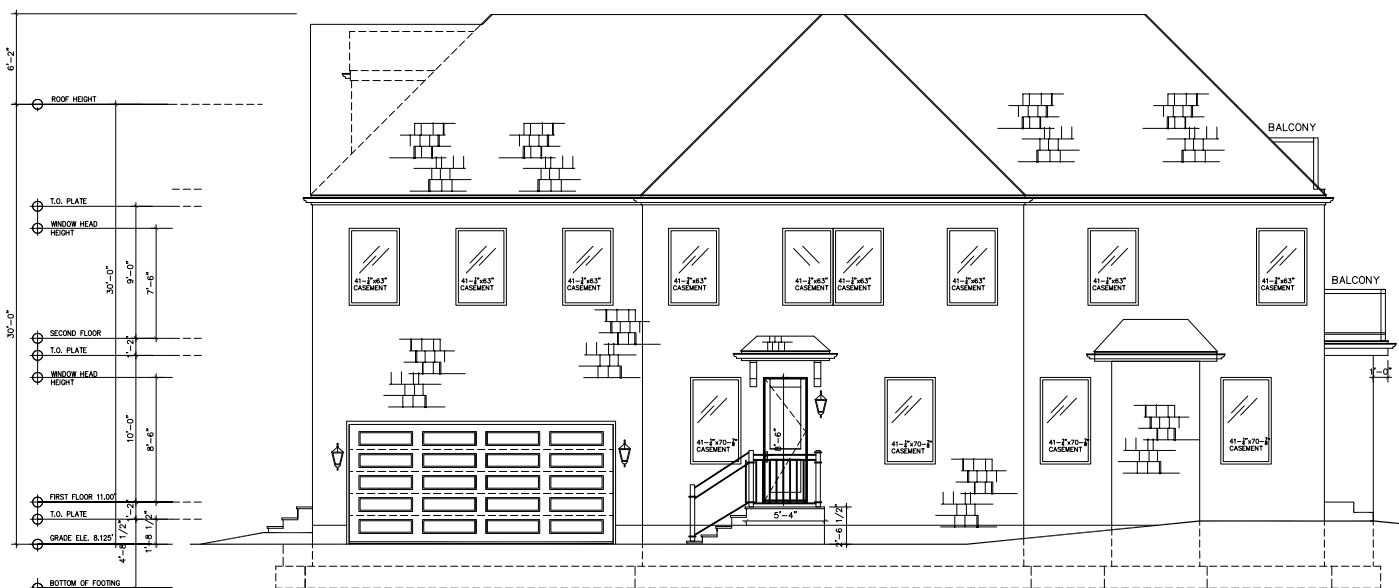
§310.1.2 MINIMUM OPENING HEIGHT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.  
 §310.1.3 MINIMUM OPENING WIDTH. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

§905.2.7.1 ICE PROTECTION. IN AREAS WHERE THE AVERAGE DAILY TEMPERATURE IN JANUARY IS 29° F (-4°C) OR LESS OR WHEN TABLE 905.2(2) CRITERIA SO DESIGNATES, AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTENDING FROM THE LEAVES EDGE TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

PRELIMINARY PLANS  
 - NOT FOR CONSTRUCTION



1  
A-3 LEFT ELEVATION



1  
A-3 RIGHT ELEVATION

DATE: MAY 4TH 2021 SCALE: 1/4" = 1'-0" REVISIONS:	08-6	A-8
	SITE LOCATION: SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK DRAWING TITLE: ELEVATIONS	
JOHN MACLEOD RIBA INC. 631 473 0749		
SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK		

**ROOF CONSTRUCTION:**  
 CEDAR SHINGLE ROOFING  
 5/8" FIBER PAPER  
 3/4" CDX PLYWOOD SHEATHING  
 2"x12" ROOF RAFTERS @ 16" o.c. (SEE PLANS)  
 2"x6" ROOF RAFTERS @ 16" o.c. (SEE PLANS)  
 MICROLAM BEAMS AS PER PLANS  
 2X6 COLLAR TIES @ 16" o.c.  
 CONT. RIDE VENTS  
 EXTEND ICE SHIELD 24" HORIZ DIM  
 FROM EAVES, VALLEYS & JUNCTIONS

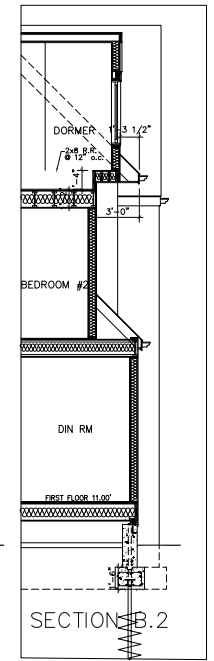
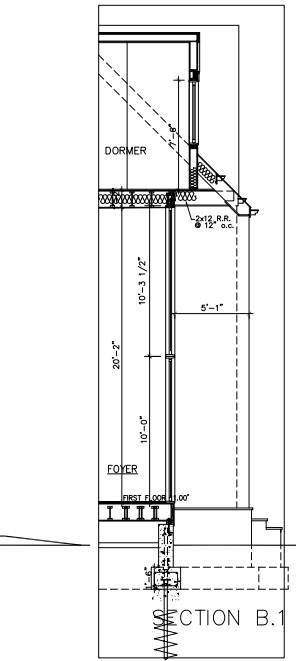
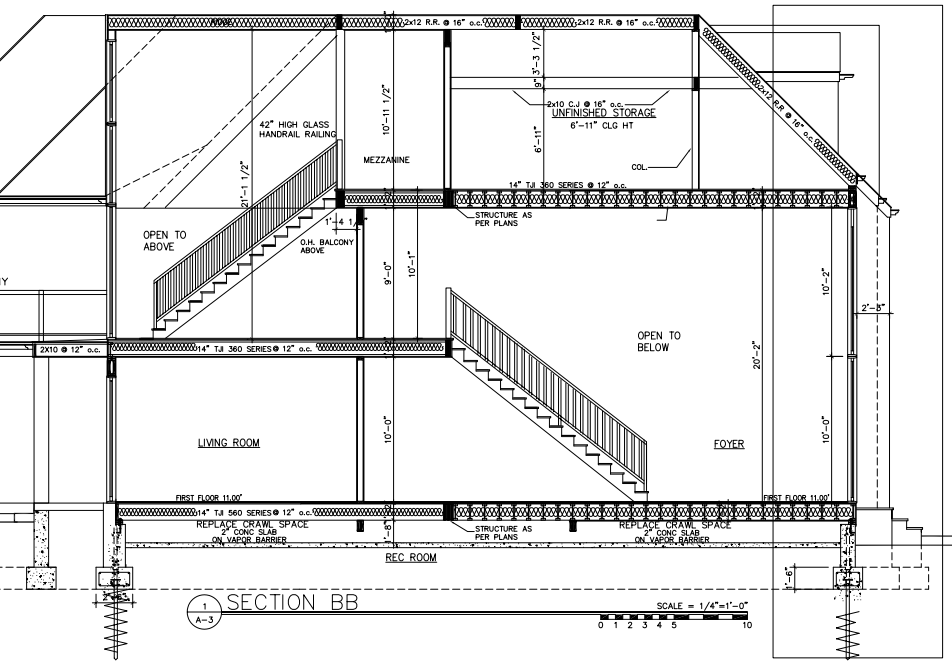
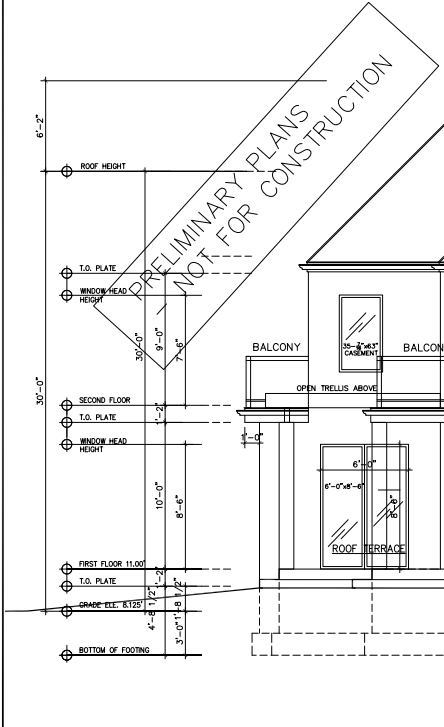
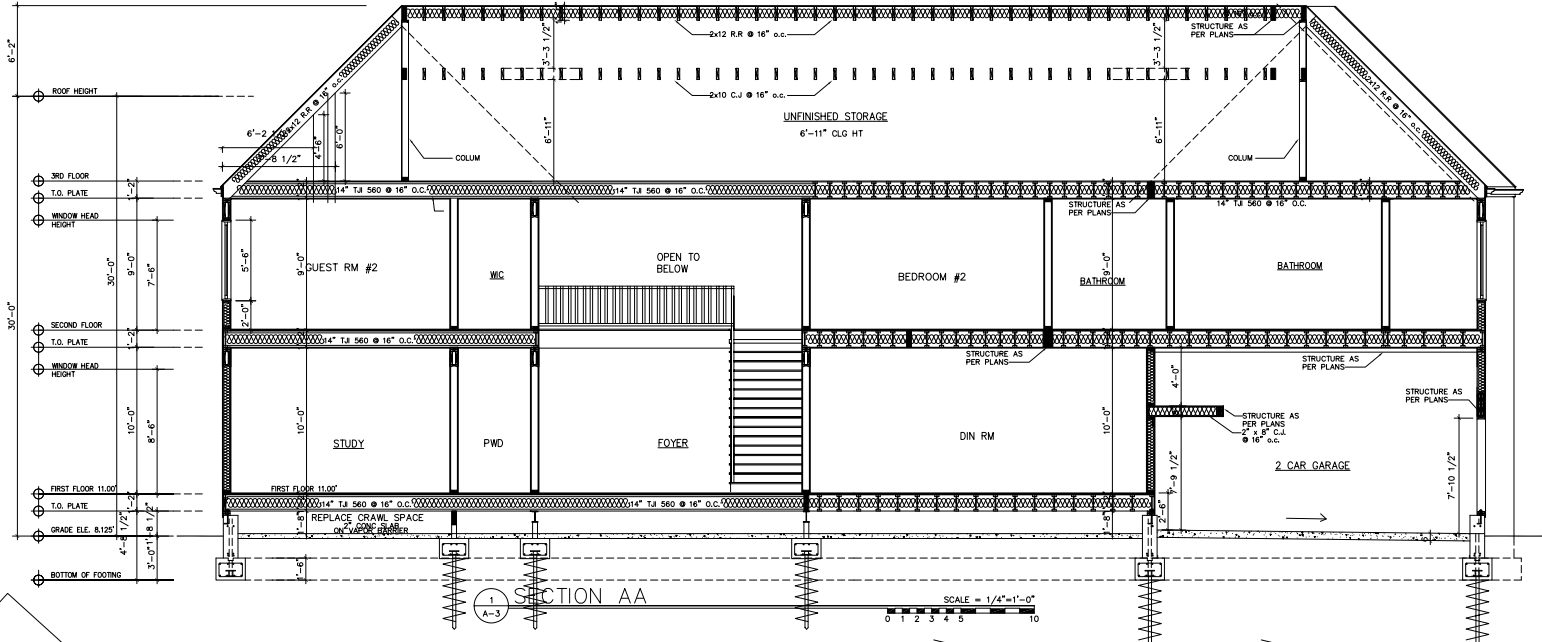
**FLAT ROOF AREAS:**  
 SINGLE PLY RUBBER ROOF  
 MEMBRANE BY MR GRACE OR EQUAL  
 3/4" CDX PLYWOOD ROOF SHEATHING  
 ON TURNING STRIPS, 1/4" PER FT PITCH.

**INSULATION:**  
 R-21 @ 6" EXTERIOR WALLS OPEN CELL INSULATION  
 R-38 @ CEILING OPEN CELL INSULATION  
 INSULATE BETWEEN FLOORS, BED ROOMS AND BATH ROOMS  
 IN COMPLIANCE WITH RCYS

**WALL CONSTRUCTION:**  
 ALUMINUM LEADERS AND GUTTERS  
 1" X 6" AZEK OR EQUAL FASCIA  
 AZEK BEADBOARD VENTED SOFFITS  
 UNVENTED IF SPRAY INSULATION USED  
 SIDING AS PER ELEVATIONS  
 SIDING CEDAR SHINGLES  
 COLOR TO BE SELECTED  
 TYVEK HOUSE WRAP, TAPE @ JOINTS & OPENINGS  
 1/2" CDX PLYWOOD SHEATHING  
 2"x6" STUDS @ 16" o.c. EXTERIOR  
 R-21 @ 6" EXTERIOR WALLS OPEN CELL INSULATION  
 5/8" GYPSUM BOARD ALL WALLS & CLG  
 UNLESS NOTED  
 LOW E WINDOWS BY ANDERSEN OR EQUAL

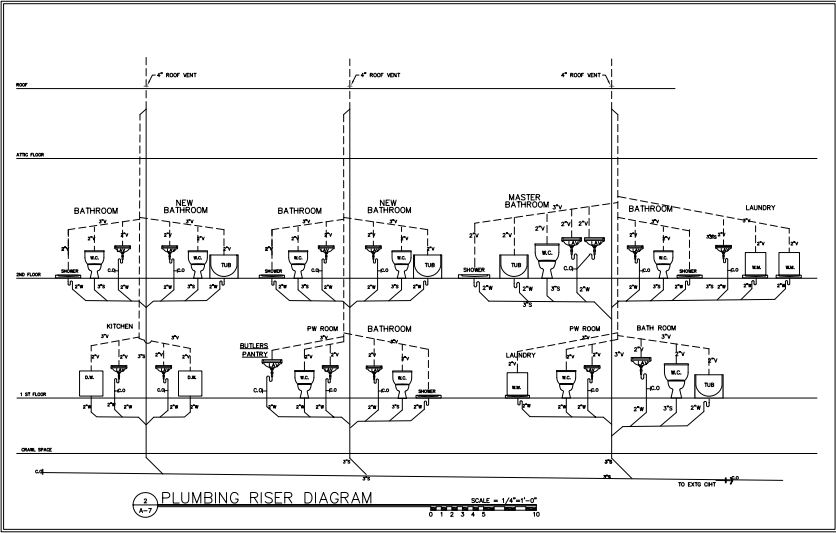
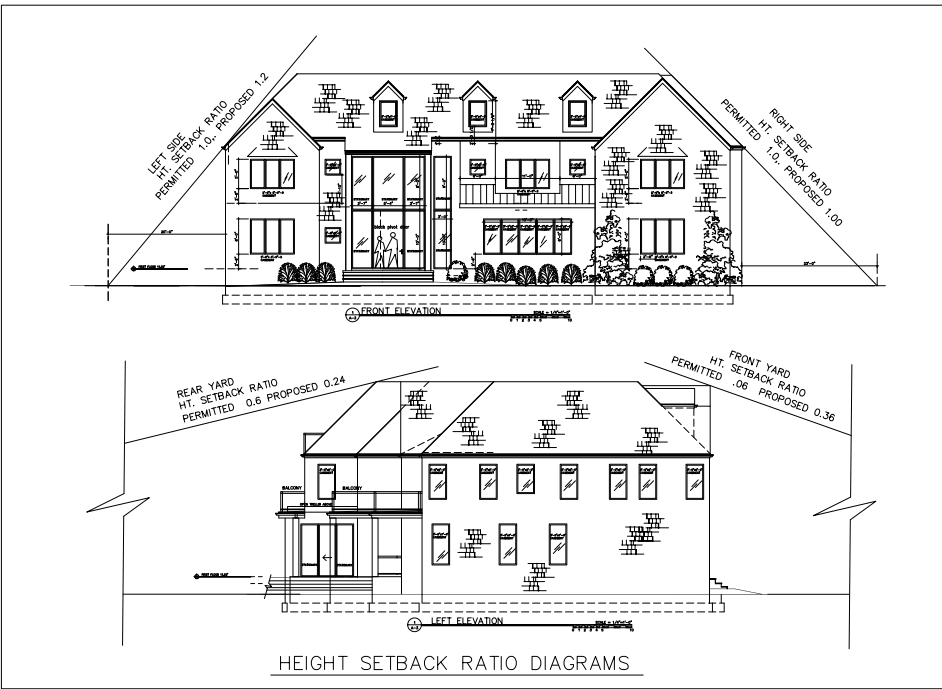
**FRAMED FLOOR CONSTRUCTION:**  
 3/4" PLYWOOD SUB FLOOR  
 1 1/4" T & B 560 @ 16" o.c.  
 @ 12" & 16" o.c. SEE PLANS  
 CROSS BRIDGES @ 1/2" SPAC

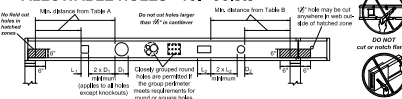
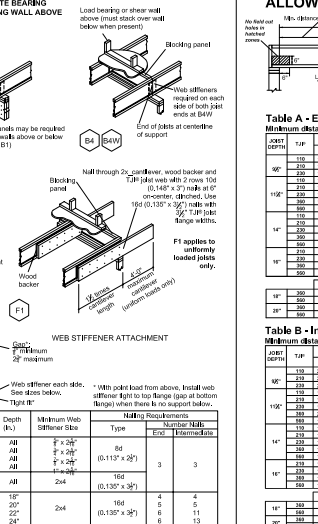
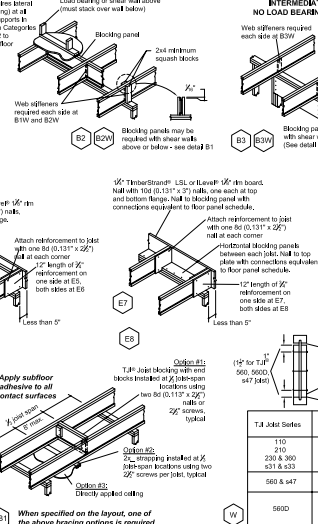
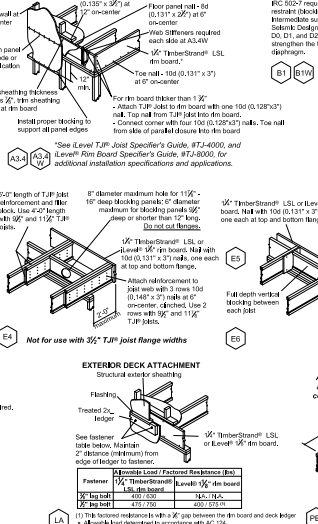
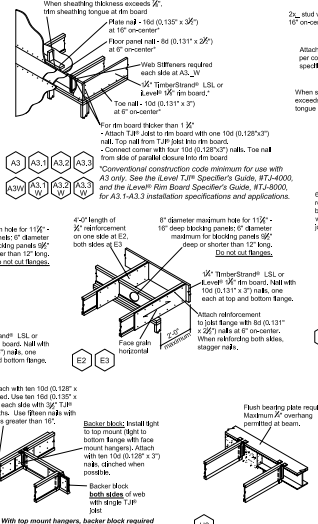
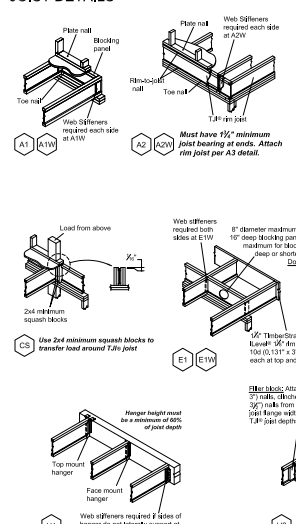
**FOUNDATION CONSTRUCTION:**  
 5/8" DIA. ANCHOR BOLTS 12" LONG  
 @ 30" DIA. MAX 12" FROM CORNERS  
 3/4" X 6" BEARING PLATES ANCHOR BOLTS  
 SILL SEALER AND DOWEL SHIELD  
 12" THICK POURED CONC. FOUNDATION WALLS  
 W/ (2) REBARS TOP, CENTER & BOTTOM CONTINUOUS  
 ON 22" W/8" POURED CONC. GRADE BEAMS FOOTINGS.  
 REIN. W/ (4) #5 REBAR CONT. TOP AND BOTTOM  
 20 TON HELICAL PILES AS PER PLANS  
 APPLY WATERPROOFING TO EXTERIOR  
 OF FOUNDATION WALL BELOW GRADE



DATE: MAY 4TH 2021 SCALE: 1/4" = 1'-0" REVISIONS:	08-6
	A-9
SITE LOCATION: SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK	JOHN MACLEOD RIBA INC. 631 473 0749
	SHOWMAN RESIDENCE 280 DOLPHIN DRIVE HEWLETT NECK, NEW YORK

TABLE TAKEN FROM AF&PA WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS (1995 EDITION)		
TABLE 3.1 NAILING SCHEDULE		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER OF COMMON NAILS	NAIL SPACING
ROOF FRAMING		
RAFTER TO TOP PLATE (TOE NAILED)	3-8d <sup>(min 3.5)</sup> <sub>(max 3.5)</sub>	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE-NAILED)	3-8d <sup>(min 3.5)</sup> <sub>(max 3.5)</sub>	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	8-16d <sup>(min 2.5)</sup> <sub>(max 2.5)</sub>	EACH LAP
CEILING JOIST LAPS OVER PARTITION (FACE-NAILED)	8-16d <sup>(min 2.5)</sup> <sub>(max 2.5)</sub>	EACH LAP
COLLAR TIE TO RAFTER (FACE-NAILED)	8-10d <sup>(min 2.4)</sup> <sub>(max 2.4)</sub>	PER TIE
BLOCKING TO RAFTER (TOE-NAILED)	2-8d	EACH END
RIM BOARD TO RAFTER (END-NAILED)	2-16d	EACH END
WALL FRAMING		
TOP PLATE TO TOP PLATE (FACE-NAILED)	2-16d <sup>1</sup>	PER FOOT
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	4-16d	JOINTS - EACH SIDE
STUD TO STUD (FACE-NAILED)	2-16d	24" O.C.
HEADER TO HEADER (FACE-NAILED)	16d	16" o.c. ALONG EDGES
TOP PLATE OR BOTTOM PLATE TO STUD (END-NAILED)	2-16d	PER 2"x4" STUD
	3-16d	PER 2"x6" STUD
	4-16d	PER 2"x8" STUD
BOTTOM PLATE TO FLOOR JOIST, BANDOIST, ENDJOIST OR BLOCKING (FACE-NAILED)	2-16d <sup>1,2</sup>	PER FOOT
FLOOR FRAMING		
JOIST TO SILL, TOP PLATE OR GIRDER (TOE-NAILED)	4-8d	PER JOIST
BRIDGING TO JOIST (TOE-NAILED)	2-8d	EACH END
BLOCKING TO JOIST (TOE-NAILED)	2-8d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	3-16d	EACH BLOCK
LEDGER STRIP TO BEAM (FACE-NAILED)	3-16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE-NAILED)	3-8d	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	3-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE(TOE-NAILED)	2-16d <sup>1</sup>	PER FOOT
ROOF SHEATHING		
STRUCTURAL PANELS	8d	6" EDGE / 12" FIELD
DIAGONAL BOARD SHEATHING		
1"x6" or 1"x8"	2-8d	PER SUPPORT
1"x10" or WIDER	3-8d	PER SUPPORT
CEILING SHEATHING		
GYPSUM WALLBOARD	5d COOLERS	7" EDGE / 10" FIELD
WALL SHEATHING		
STRUCTURAL PANELS	8d	6" EDGE / 12" FIELD
FIBERBOARD PANELS		
1/2"	6d	3" EDGE / 6" FIELD
3/8"	8d	3" EDGE / 6" FIELD
GYPSUM WALLBOARD	5d COOLERS	7" EDGE / 10" FIELD
HARDBOARD	8d	6" EDGE / 12" FIELD
PARTICLEBOARD PANELS	8d	6" EDGE / 12" FIELD
DIAGONAL BOARD SHEATHING		
1"x6" or 1"x8"	2-8d	PER SUPPORT
1"x10" or WIDER	3-8d	PER SUPPORT
FLOOR SHEATHING		
STRUCTURAL PANELS		
1" OR LESS	8d	6" EDGE / 12" FIELD
GREATER THAN 1"	10d	6" EDGE / 6" FIELD
DIAGONAL BOARD SHEATHING		
1"x6" or 1"x8"	2-8d	PER SUPPORT
1"x10" or WIDER	3-8d	PER SUPPORT
1.	NAILING REQUIREMENTS ARE BASED ON WALL SHEATHING NAILED 6 INCHES ON-CENTER AT THE PANEL EDGE. IF WALL SHEATHING IS NAILED 3 INCHES ON-CENTER AT THE PANEL EDGE TO OBTAIN HIGHER SHEAR CAPACITIES, NAILING REQUIREMENTS FOR STRUCTURAL MEMBERS SHALL BE DOUBLED, OR ALTERNATE CONNECTORS, SUCH AS SHEAR PLATES, SHALL BE USED TO MAINTAIN THE LOAD PATH.	
2.	WHEN WALL SHEATHING IS CONTINUOUS OVER CONNECTED MEMBERS, THE TABULATED NUMBER OF NAILS SHALL BE PERMITTED TO BE REDUCED TO 1-16d NAIL PER FOOT.	





Minimum distance from edge of hole to break face of nearest support																									Minimum distance from edge of hole to break face of nearest support																								
Hole size	1" F	ROUND HOLE SIZE												SQUARE OR RECTANGULAR HOLE SIZE																																			
		2"	3"	4"	5"	6"	8"	10"	12"	14"	16"	18"	20"	22"	24"	26"	28"	30"	32"	34"	36"	38"	40"																										
1/2"	10	10	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102																								
	12	12	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104																								
	14	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102	106																								
	16	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104	108																								
15/16"	10	10	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102																								
	12	12	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104																								
	14	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102	106																								
	16	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104	108																								
1 1/4"	10	10	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102																								
	12	12	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104																								
	14	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102	106																								
	16	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104	108																								
1 3/8"	10	10	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102																								
	12	12	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104																								
	14	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102	106																								
	16	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104	108																								
1 1/2"	10	10	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102																								
	12	12	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104																								
	14	14	18	22	26	30	34	38	42	46	50	54	58	62	66	70	74	78	82	86	90	94	98	102	106																								
	16	16	20	24	28	32	36	40	44	48	52	56	60	64	68	72	76	80	84	88	92	96	100	104	108																								

Minimum distance from edge of hole to inside face of nearest intermediate or cantilever support												
JOIST SIZE	ROUND HOLE SIZE					SQUARE OR RECTANGULAR HOLE SIZE						
	1"	1 1/2"	2"	2 1/2"	3"	2"	2 1/2"	3"	3 1/2"	4"	4 1/2"	5"
10"	10	10	24	24	24	10	10	24	24	24	10	10
	12	12	24	24	24	12	12	24	24	24	12	12
	14	14	24	24	24	14	14	24	24	24	14	14
	16	16	24	24	24	16	16	24	24	24	16	16
	18	18	24	24	24	18	18	24	24	24	18	18
12"	12	12	24	24	24	12	12	24	24	24	12	12
	14	14	24	24	24	14	14	24	24	24	14	14
	16	16	24	24	24	16	16	24	24	24	16	16
	18	18	24	24	24	18	18	24	24	24	18	18
	20	20	24	24	24	20	20	24	24	24	20	20
14"	14	14	24	24	24	14	14	24	24	24	14	14
	16	16	24	24	24	16	16	24	24	24	16	16
	18	18	24	24	24	18	18	24	24	24	18	18
	20	20	24	24	24	20	20	24	24	24	20	20
	22	22	24	24	24	22	22	24	24	24	22	22
16"	16	16	24	24	24	16	16	24	24	24	16	16
	18	18	24	24	24	18	18	24	24	24	18	18
	20	20	24	24	24	20	20	24	24	24	20	20
	22	22	24	24	24	22	22	24	24	24	22	22
	24	24	24	24	24	24	24	24	24	24	24	24
18"	18	18	24	24	24	18	18	24	24	24	18	18
	20	20	24	24	24	20	20	24	24	24	20	20
	22	22	24	24	24	22	22	24	24	24	22	22
	24	24	24	24	24	24	24	24	24	24	24	24
	26	26	24	24	24	26	26	24	24	24	26	26
20"	20	20	24	24	24	20	20	24	24	24	20	20
	22	22	24	24	24	22	22	24	24	24	22	22
	24	24	24	24	24	24	24	24	24	24	24	24
	26	26	24	24	24	26	26	24	24	24	26	26
	28	28	24	24	24	28	28	24	24	24	28	28

